



# FIRE ESCAPE ENGINEERS

A MEMBER OF THE FIRE ESCAPE SERVICES NETWORK

## PRE-LOAD TEST EVALUATION RESULTS

### FAILED MINOR

Life Safety Issues DO NOT Exist



PERFORMED AT: **E2**  
side  
**39-45 Newbury St (Roof Elevator room) Boston  
MA**

AUTHORITY HAVING JURISDICTION:  
**NEIL SULLIVAN**

INSPECTION DATE **January 14 2025**  
REPORT DATE **March 10 2025**  
REPORT EXPIRES **April 10 2025**

PREPARED BY:  
**FIRE ESCAPE ENGINEERS**

NOT to be used as a Construction Control Document unless noted and Formal Repair Report attached.

This document expires 30 days from date of delivery to owner/agent via email or mail unless Design Professional or Other are retained for Engineer Oversight in writing.



# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

**E2 side** 39-45 Newbury St (Roof Elevator room) Boston

Jan 14 2025  
Site Inspection Date

pg 2



Overall Structural	Overall Paint	Supports/ Cement	Grating/ Platforms	Rails	Stringers	Treads	Cantilever/ Balanced I	Fixed Ladder	Cement Pads & Footings	Catwalk	
<input type="checkbox"/> Life Safety (LS)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Imminent Safety Hazard (ISH)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Missing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> PreExisting NonConforming (PENC)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/> Poor/Fail	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> PASS other evidence of strength	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/> Not Applicable (N/A)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
25-50%	<b>Percent Fail</b>	100%	0%	0%	0%	25-50%	50-75%	N/A	N/A	25%	N/A

**2022 IFC 1104.16.5.1** Fire escape stairs must be examined every 5 years by a design professional or others acceptable to the Authority Having Jurisdiction and inspection report must be submitted to the AHJ.

**IBC 1001.3.3** All fire escapes shall be examined and/or tested and certified every five years by a design professional or others acceptable who will then submit an affidavit city official.

**ICC 2015 104.7.2** Technical assistance. To determine the acceptability of technologies, processes, products, facilities, materials and uses attending the design, operation or use of a building or premises subject to inspection by the fire code official, the fire code official is authorized to require the owner or agent to provide, without charge to the jurisdiction, a technical opinion and report. The opinion and report shall be prepared by a qualified engineer, specialist, laboratory or fire safety specialty organization acceptable to the fire code official and shall analyze the fire safety properties of the design, operation or use of the building or premises and the facilities and appurtenances situated thereon, to recommend necessary changes. The fire code official is authorized to require design submittals to be prepared by, and bear the stamp of, a registered design professional



# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

**E2** 39-45 Newbury St (Roof Elevator room) Boston  
side

Jan 14 2025  
Site Inspection Date





5901  
Case Number

# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

**E2** 39-45 Newbury St (Roof Elevator room) Boston  
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Jan 14 2025  
Site Inspection Date



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**E2** 39-45 Newbury St (Roof Elevator room) Boston  
side

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## Paint Requirements - Surface rust, sealant, and greasing:

1) The fire escape system is made of:

- IRON/STEEL  
  METAL (OTHER)  
  WOOD  
  MASONRY  
  GLASS  
  MIXED  
  H. DEPOT LADDER  
  PAINTED  
  STAINED  
  MEMB  
 ALUMINUM  
 STEEL & WOOD  
 WOOD/COMPOSITE  
 CONCRETE  
 BRICK  
 TILED  
 NO FE ON THE BLDG  
 GALVANIZED  
 PRIMED  
 PRESSURE TREATED  
 OTHER

2) This Fire Escape System is maintained/painted/stained and/or weatherproofed.

**Fail Major**

Overall Paint FAIL. Lack of routine maintenance requiring Full scrape, prime, seal, and paint.

3) The owner is notified, by email or hand delivered, that EPA Lead Paint Rules apply because the FE system was built before 1978.

N/A

Not Applicable

## Structural Requirements - internal rust, rebolting, reinforcement and replacement:

4) All welds PASS by visual observation only, unless noted: re-bolted, x ray or load tested are structurally sound having NO internal rust jacking, external surface rust and/or material deterioration.

**Pass RLT**

Overall the Structural Welds PASS. Pending load test or other evidence of strength otherwise liability disclaimer letter signed by owner.

5) Overall - fire escape system

**Fail Minor**

is structurally sound having NO internal rust jacking, external surface rust and/or material deterioration.

Overall Minor Structural FAIL. Internal rust causing Rust Jacking (RJ) of some suspect connections.

6) Footings/Piers

**Fail Minor**

are structurally sound having NO internal rust jacking, external surface rust and/or material deterioration - NO heaving or sinking

Overall Minor Structural Footing FAIL. Some leg connections require repairs and sealed with water sealant.

7) Walls of attached fire escape system - by visual observation only on date of evaluation appear to be structurally sound having NO material deterioration - NO structural cracks/deterioration, deflection or bulging

**Pass RLT**

Overall Structural Walls PASS.

8) Supports into masonry wall

**Fail Minor**

are structurally sound having NO material deterioration - NO structural cracks/deterioration, rust jacking, deflection or spalling

Overall Minor Structural Supports (bracket, thru-bolt, legs) FAIL: leg is missing proper sleepers on at least one support.

9) Thru bolts into wood structure or masonry walls

N/A

are structurally sound having NO material deterioration - NO structural cracks/deterioration, rust jacking, deflection or wood rot

Not Applicable

10) Platforms, Slats, Grating, Mesh, Cement, Cast Iron, Wood and Angle and or Steel

**Pass RLT**

Frame are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust or wood rot

Overall Platforms, Slats, Grating PASS. Pending load test or other evidence of strength otherwise liability disclaimer letter signed by owner.

11) Stair Stringers, Upper & Lower Hanger Clips

**Fail Minor**

are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust or wood rot

Overall Minor Stair Stringers FAIL. Reinforce/ re-bolt upper and lower clips to platforms.

12) Stair Treads: Plate, Slats, Grating & Bolts and/or Welds

**Fail Minor**

are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust or wood rot

Overall Minor Structural Treads FAIL. Internal rust causing Rust Jacking (RJ) of some suspect connections.

13) Railings - on platforms, stairs & catwalks

**Pass RLT**

are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust or wood rot

Overall Railings PASS. Pending load test or other evidence of strength otherwise liability disclaimer letter signed by owner.

14) Fixed Ladders to Roof and/or to Grade & Bolts and/or Welds

N/A

are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust or wood rot or spauling

Not Applicable

15) Balanced Ladders: Bolts and/or Welds, Weight, Release Mechanism and other components

N/A

are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust and are to grade/public way

Not Applicable

16) Cantilevers: Bolts and/or Welds, Weight Box, Release Mechanism and other components

**Pass RLT**

are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust and are to grade/public way

Overall Cantilever PASS. Pending load test or other evidence of strength otherwise liability disclaimer letter signed by owner.

17) Catwalks & Bolts and/or Welds are structurally sound having NO material deterioration - NO internal rust jacking or external surface rust and lead to the fire escape and completes to grade

N/A

Not Applicable. Not an egress route.

## PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

E2 39-45 Newbury St (Roof Elevator room) Boston  
sideJan 14 2025  
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## Code Requirements - Fabrication, Installation, Modification, and Code Upgrades

18) All fabrication, installation and maintenance of fire escape is to code and met industry standards on date of installation.

Pass

Design and Fabrication met code standards on date of installation.

19) There are **NO** pre-existing non-conforming issues requiring AHJ notification for approval.

Pass

NO AHJ approval required.

20) All components: doors, windows, window guards, cages and gates are single action requiring no special knowledge, no keys and no obstruction and lead to public way

Pass

Design and Fabrication met code standards on date of installation.

21) All electrical power is 10 feet or more away from fire escape or covered to code.

Pass

Design and Fabrication met code standards on date of installation.

22) Overall the fire escape is not illuminated due to pre-existing code on date of install.

Code

Overall Code Issues: NO illumination visible. Local Ordinance may apply to upgrade egress lighting.

23) Overall fire escape system has no interior or exterior obstructions such as a/c units, plants, bikes, trash etc.

Pass

Overall Code Issues: NO Obstructions.

24) Overall fire escape system has no storage of flammables or code restricted items on, in or

Pass

Overall Code Issues: NO Flammables on or under system i.e. BBQ or anything powered by gasoline.

25) Do all egress systems allow for clear and legal access to public fairway or dispersal area?

Pass

Overall Code Issues: NOT Blocked and has access to public way.

**ALL FIRE ESCAPES MUST BE STRUCTURALLY SOUND AND KEPT PAINTED AS PER CODE. Structural connections must be free of all internal rust and sealed from water intrusion. Spot paint every 3-5 years, full paint every 7-10 years and maintain sealant on all critical structural connections.**

IFC 1104.16.5.1 Fire escape stairs must be examined every 5 years by a design professional or others acceptable to the Authority Having Jurisdiction and inspection report must be submitted to the AHJ. IBC 1001.3.3 All fire escapes shall be examined and/or tested and certified every five years by a design professional or others acceptable who will then submit an affidavit city official. NFPA LIFE SAFETY CODE 101 7.2.8.6.2 The Authority Having Jurisdiction (AHJ) shall approve any fire escape by Load Test or Certification (other evidence of strength). ICC 104.7.2 Technical assistance. The fire code official is authorized to require the owner or agent to provide, without charge to the jurisdiction, a technical opinion and report. The opinion and report shall be prepared by a specialist or a fire safety specialty organization acceptable to the fire code official to analyze the fire escape and appurtenances situated thereon, to recommend necessary changes. The fire code official is authorized to require design submittals to be prepared by, and bear the stamp of, a registered design professional. OSHA 1910.37 Exit routes must be maintained during construction, repairs, alterations or provide alternative egress with equivalent level of safety. (permit issued if egress is certified or with egress scaffolding) All insurance companies: All final certifications to AHJ (load tested or other evidence of strength) must be submitted for acceptance by insurance company to avoid coverage issues.

# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

## E2 39-45 Newbury St (Roof Elevator room) Boston

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Site Inspection Date

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1. Overall Structure

Poor/Fail

25-50%



2. Overall Paint

Poor/Fail

100%



3. Code:

N/A

N/A

This pre load test evaluation was requested at this location to confirm that the fire escape system is structurally sound and has been kept painted as is required by code. Certification can be done by load test, other evidence of strength or an opinion affidavit with a disclaimer of liability waiver form. This is a six story brick building with a fire escape system made of galvanized steel and consisting of a platform with stairs to the roof. This system did not pass due to the following minor issues:

**STRINGERS:** Internal rust in stringer clips is beginning to cause rust jacking.

**TREADS:** The treads are welded, and internal rust is beginning to develop in the tread clips, which may weaken their structural integrity over time.

**Legs/Footing:** One leg of the system is missing its sleeper, which can lead to uneven load distribution and potential structural stress. Installing a properly sized sleeper is necessary to provide stability, prevent surface damage, and ensure compliance with safety standards.

SEE VIDEO-PHOTO EVALUATION FOR MORE DETAILED INFORMATION \*  
THIS IS NOT A CONSTRUCTION CONTROL DOCUMENT

Overall the paint FAIL: Full paint on system required after repairs. Recommend to power wash and seal all major joints to prevent water intrusion into structural connections.

Fire Escapes, must be maintained/ painted every 5-7 years as per manufactures recommendation.

Our inspector found no code issues related to AHJ (Authority Having Jurisdiction) or PENC (pre-existing non-conforming) requirements for this Fire Escape system.



# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

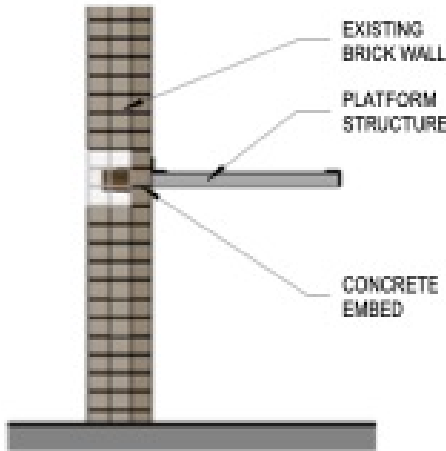
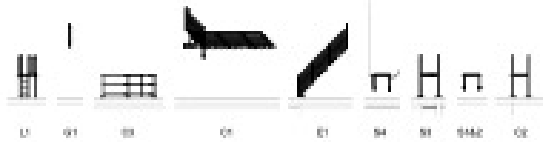
## E2 side 39-45 Newbury St (Roof Elevator room) Boston

Jan 14 2025  
Site Inspection Date

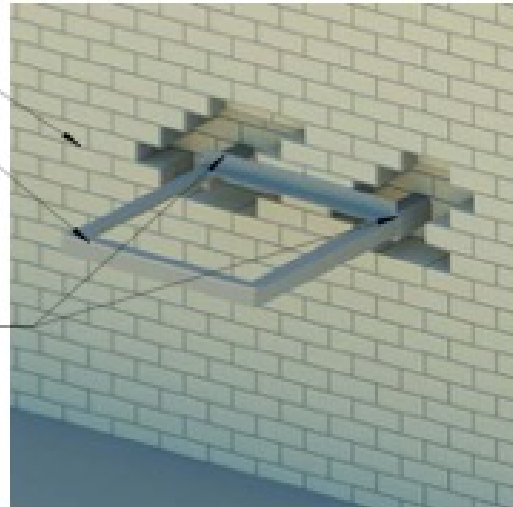
### STRUCTURAL SUPPORT COMPONENTS



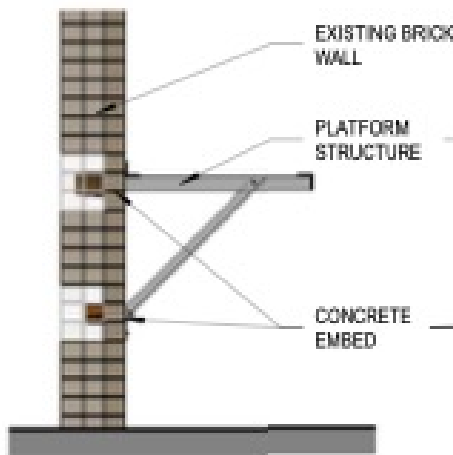
INITIAL EVALUATION  
PASS/FAIL REPORT  
TYPICAL HISTORICAL  
EXISTING CONDITIONS



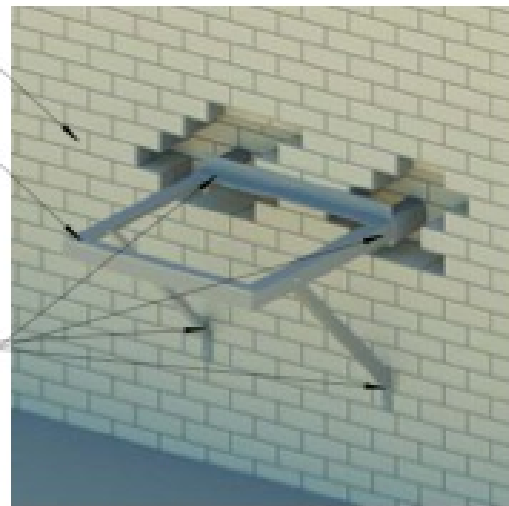
1 S1-BALC-WITH-BRACKET  
SCALE: 3/8" = 1'-0"



7 S1-3D-EVAL-RENDERING-BALCONY-NO-BRACKET  
SCALE: 1/2" = 1'-0"



3 S2-BALC-WITH-BRACKET  
SCALE: 3/8" = 1'-0"



4 S2-3D-EVAL-RENDERING-BALC-BRACKET  
SCALE: 1/2" = 1'-0"

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## STRUCTURAL SUPPORT COMPONENTS

## S1&2

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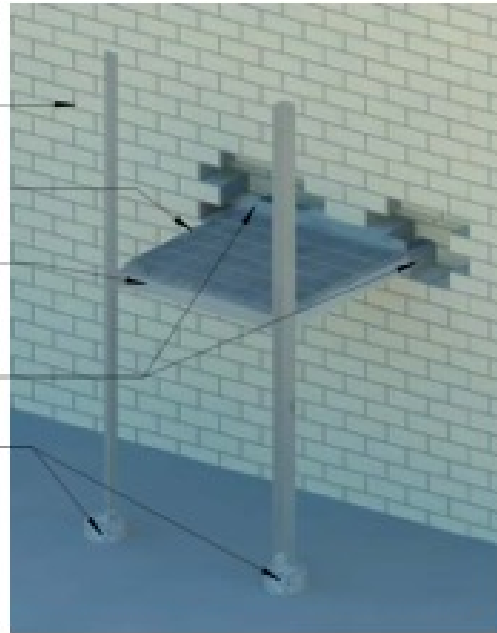
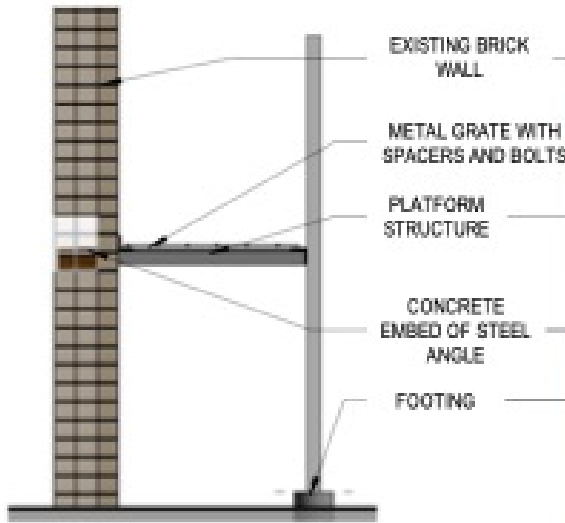
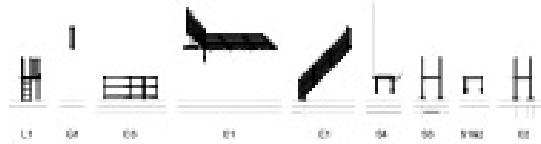
**PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT**

**E2 side 39-45 Newbury St (Roof Elevator room) Boston**

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Site Inspection Date

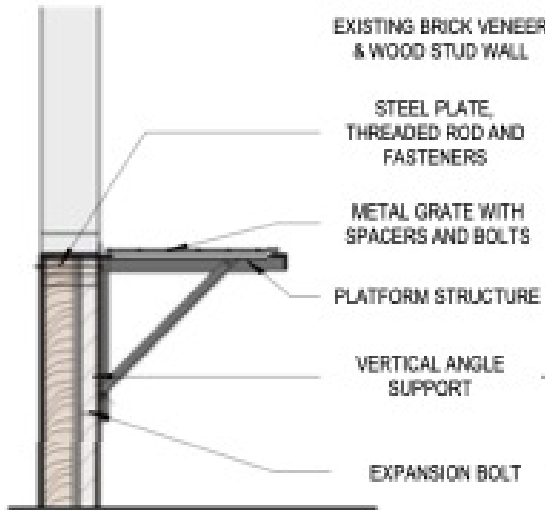


**INITIAL EVALUATION  
PASS/FAIL REPORT**  
TYPICAL HISTORICAL  
EXISTING CONDITIONS



**1 S3-BALC-WITH-POST-TO-GROUND**  
SCALE: 3/8" = 1'-0"

**2 S3-3D-RENDERING-BALCONY POST TO GROUND**  
SCALE: 12" = 1'-0"



**3 S4-BALC-WITH-THRU BOLT & PLATE**  
SCALE: 3/8" = 1'-0"

**4 S4-3D-EVAL-RENERING-BALC-WITH THRU BOLT**  
SCALE: 12" = 1'-0"

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**STRUCTURAL SUPPORT COMPONENTS**

**S3&4**

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PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

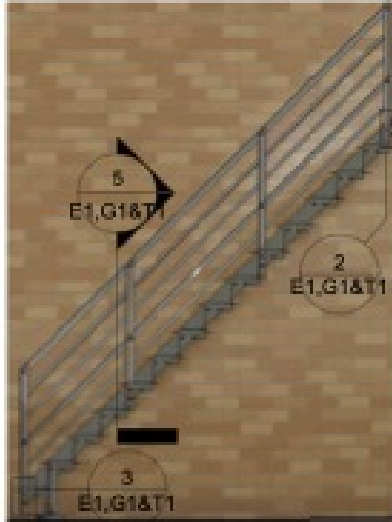
E2 side 39-45 Newbury St (Roof Elevator room) Boston

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Site Inspection Date

PLATFORM and STAIRS COMPONENTS



INITIAL EVALUATION  
PASS/FAIL REPORT  
TYPICAL HISTORICAL  
EXISTING CONDITIONS



1 E1-STAIR TYPICAL  
SCALE: 1/4" = 1'-0"



2 E1-TOP  
SCALE: 3/4" = 1'-0"



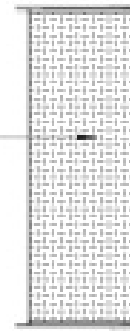
3 E1- BOTTOM SCALE: 3/4" = 1'-0"

4 E1- 3D-EVAL-RENDERING-STAIR TYPICAL  
SCALE: 1/2" = 1'-0"

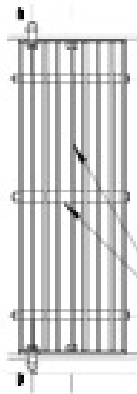


5 T1- TREAD  
SCALE: 1" = 1'-0"

CHECKER PLATE TREAD MAKE 24"X24" GRATING COMPONENT. CISD WILL TELL WHETHER ITS A CONCRETE GRATE OF CHECKER PLATE

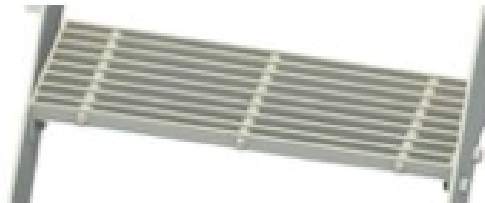


7 T2 CHECKER PLATE TREAD - PLAN  
SCALE: 1" = 1'-0"



BAR GRATE WITH SPACES AND A THRU BOLT

6 T1 HISTORIC TREAD - PLAN  
SCALE: 1" = 1'-0"



10 G1-3D-EVAL-TREAD  
SCALE: 1/2" = 1'-0"

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TREAD & GRATING COMPONENTS

E1,G1&T1



# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

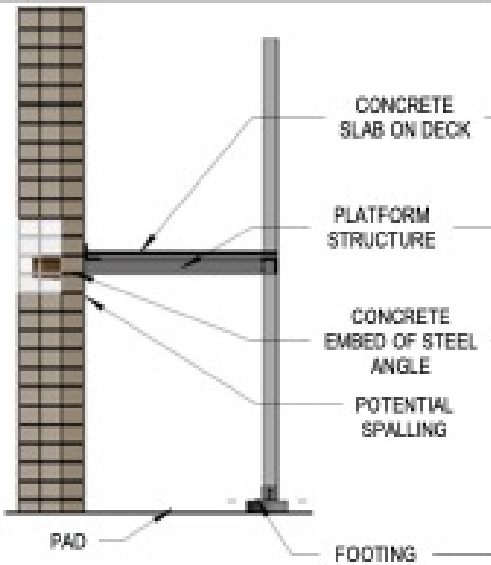
**E2** 39-45 Newbury St (Roof Elevator room) Boston  
side

Jan 14 2025  
Site Inspection Date

## CEMENT SLAB, FOOTING & PAD COMPONENTS

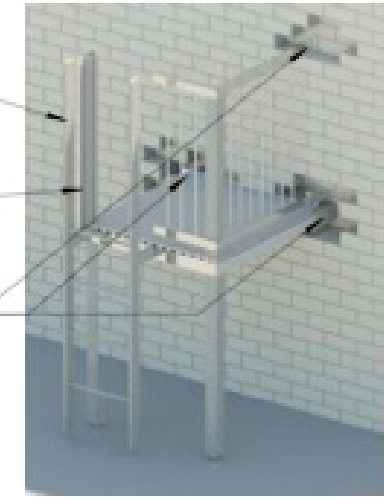
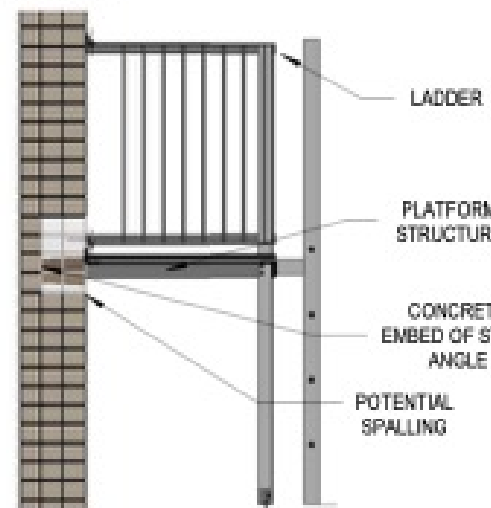


INITIAL EVALUATION  
PASS/FAIL REPORT  
TYPICAL HISTORICAL  
EXISTING CONDITIONS



**1** C2-CEMENT SLAB, FOOTING AND PAD  
SCALE: 3/8" = 1'-0"

**2** C2-3D-EVAL-CONCRETE FOOTING  
SCALE: 12" = 1'-0"



**3** L1-BALCONY AND LADDER  
SCALE: 3/8" = 1'-0"

**4** L1-3D-EVAL-BALCONY & LADDER  
SCALE: 12" = 1'-0"

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# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

## E2 side 39-45 Newbury St (Roof Elevator room) Boston

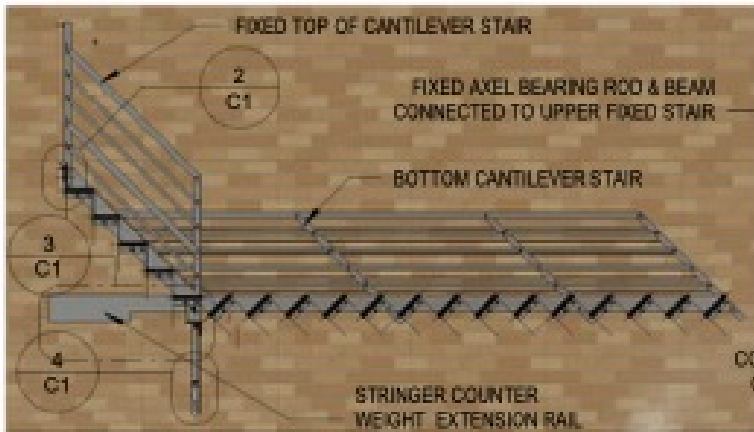
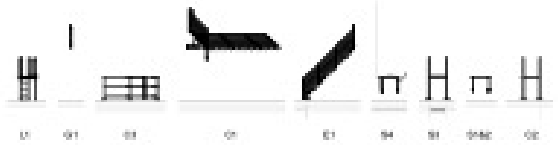
Jan 14 2025  
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### CANTILEVER STAIRS



#### INITIAL EVALUATION PASS/FAIL REPORT

TYPICAL HISTORICAL  
EXISTING CONDITIONS



1 C1-STAIR CANTILEVER

SCALE: 1/4" = 1'-0"

6 C1-ENLGD. 3D BEARING ROD

SCALE:



LOWER CANTILEVER  
STAIR RELEASE ROD  
AND PUSH BAR

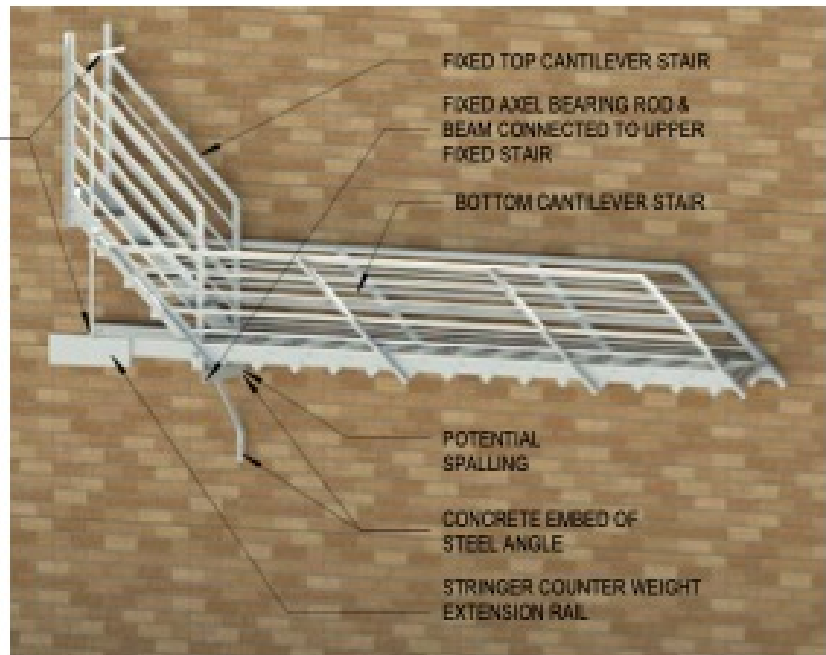
2 C1-TOP

SCALE: 1/2" = 1'-0"



3 C1-BEARING ROD

SCALE: 1/2" = 1'-0"



7 C1-3D-EVAL-RENDERING-STAIR CANTILEVER

SCALE: 1/2" = 1'-0"

4 C1-BRACKET BOTTOM

SCALE: 1/2" = 1'-0"

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## CANTILEVER STAIRS

C1

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# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

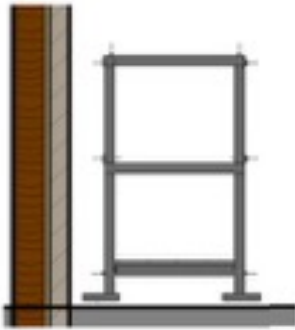
## E2 side 39-45 Newbury St (Roof Elevator room) Boston

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Site Inspection Date

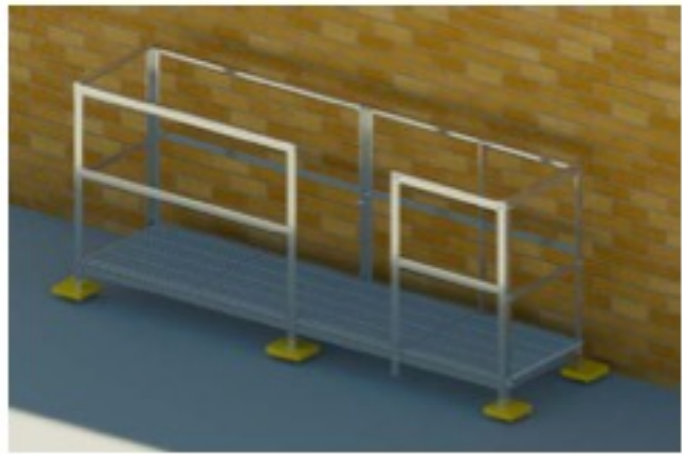
### CATWALK COMPONENTS



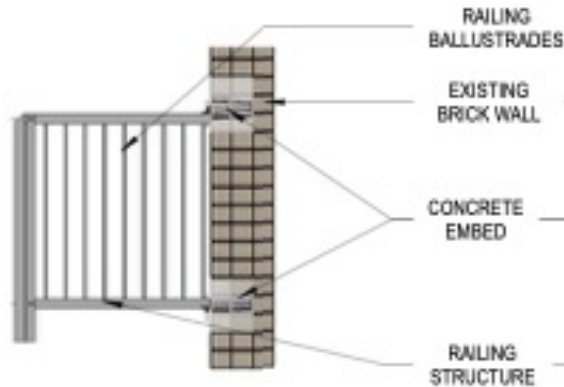
INITIAL EVALUATION  
PASS/FAIL REPORT  
TYPICAL HISTORICAL  
EXISTING CONDITIONS



1 C3-CATWALK AND COMPONENTS  
SCALE: 3/8" = 1'-0"



2 C3-3D-EVAL-RENDERING-CATWALK  
SCALE: 1/2" = 1'-0"



4 E2-RAIL WITH EMBED  
SCALE: 3/8" = 1'-0"



6 E2-3D-RENDERING-RAILING  
SCALE: 1/2" = 1'-0"

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## CATWALK COMPONENTS

C3&E2

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Jan 14 2025  
Site Inspection Date

**39-45 Newbury St (Roof Elevator**

Site Address

Sal Monteneri  
Owner or Owner Agent

Boston MA 02116  
City State Zip Code

(617) 728-2759  
Phone fax

smonteneri@dlsaunders.com  
email



FE Structural Format **DL Saunders**  
Catwalk Owner or Owner Agent Company

Location **E2**  
Mailing Address

FE Made Of **Boston MA**  
Steel & Wood City State Zip Code

Stories **6**  
Phone fax

# of FEs on building **2**  
website

Boston MA 1010 Massachusetts Ave Boston MA 02118  
Authority Having Jurisdiction Address City State Zip Code

neil.sullivan@boston.gov 617-961-3434  
email Phone fax

WRITTEN VIOLATION  VERBAL  N

Repair/Paint Vendor or Owner/Agent acceptable by AHJ to repair/paint fire escapes:

Repair Vendor or Agent: Company Name Repair Vendor or Agent: Contact Name License Number Repair Permit Number

This document is  a. a Pass/Fail Report (not to be used as a construction control document)  
OR  b. a Fail Report with attached repairs report (with photos/drawings and repairs criteria as required for permit if permit is needed)

To the best of my Information, Knowledge, Belief and Opinion that the following statements are true and apply regarding this Fire Escape System as of the date of evaluation above.

- Indicate inspection was done by:
- a. a visual walk through of the Fire Escape System all accessible areas only. NO Load Test or destructive testing was performed. Safety hammer testing, scraping, poking, and chipping are all part of visual observation and resulting damage is owner's responsibility to repair or maintain.
  - b. an Evaluation of the Fire Escape System from the ground, with or without the use of visual aid, due to NO ACCESS or UNSAFE STRUCTURE WITH LIFE SAFETY ISSUES.

**Fire Escape Passed?** FAILED MINOR **Life Safety** Life Safety Issues DO NOT Exist

- The System is Certified by Load Test done by Engineering/Testing Agency at 100 lbs per sq foot.
- The System is Certified by Other Evidence of Strength (by full restoration or NEW) in lieu of load test.
- The System is Certified by Opinion Affidavit, accepted by AHJ as ready for use with opinion disclaimer of liability.
- Inspection/Evaluation determined the System FAILED. It is NOT structurally sound and/or painted.

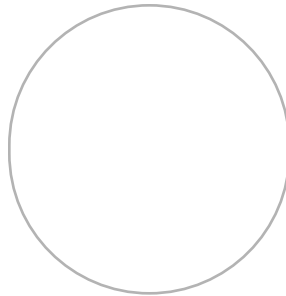
**ALL FIRE ESCAPES MUST BE STRUCTURALLY SOUND AND KEPT PAINTED AS PER CODE. Structural connections must be free of all internal rust and sealed from water intrusion. Spot paint every 3-5 years, full paint every 7-10 years and maintain sealant on all critical structural connections.**

IFC 1104.16.5.1 Fire escape stairs must be examined every 5 years by a design professional or others acceptable to the Authority Having Jurisdiction and inspection report must be submitted to the AHJ. IBC 1001.3.3 All fire escapes shall be examined and/or tested and certified every five years by a design professional or others acceptable who will then submit an affidavit city official. NFPA LIFE SAFETY CODE 101 7.2.8.6.2 The Authority Having Jurisdiction (AHJ) shall approve any fire escape by Load Test or Certification (other evidence of strength).

Francisco Meneses Design Professional or Other Name CS-94862 License Number Jan/07/26 License Expires Date  
866-649-0333 Phone 888-895-7507 fax Jan/29/25 Site Inspection Date  
info@firescapeengineers.com email 5901 Case ID

Fire Escape Engineers Design Company or Other Company Name  
616 Washington St Address  
Lynn MA 01901 City State Zip Code

X  
  
1/29/2025  
peer reviewed by Fire Escape Engineer Francisco Meneses



**PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT****E2**  
side**39-45 Newbury St (Roof Elevator room) Boston**Jan 14 2025  
Site Inspection Date**Responsible Party Assignment as per Code****Fire Escape Inspectors Oversight Options:**

Further information for each option you may have interest in will be sent with a formal proposal upon request. Please reach out after reviewing these options with any questions or concerns. A signature is required with a 35% deposit to initiate any option.

**Project Management Oversight (PMO):** Oversee our network Vendor, or a Vendor of your choice, to do the work necessary to bring your fire escape into compliance and is certified by a final examination (a Load Test may still be required). Technical Repair report written for project. 3 to 5 Visits with a design professional. Zoom meeting to review all repairs and methodology with the chosen vendor is included. Pictures or video supplied by the vendor on a daily basis. unlimited phone calls or Facetime. Includes final certification. Can be a standalone service if you choose your own vendor.

**Vendor Management Oversight:** Oversee our Network Vendor, or a Vendor of your choice (who is a fully experienced fire escape technician), to do the work necessary to bring your fire escape into compliance and is certified by a final examination (a Load Test may still be required). Zoom meeting to review all repairs and methodology with the chosen vendor is included. Pictures or video supplied by the vendor on a daily basis. Unlimited phone calls or Facetime. Includes final certification. Can be a standalone service if you choose your own vendor.

**Load Test:** A stand-alone Load Test can be performed with a Deficiency Report (identifying outstanding distressed conditions not repaired or repaired poorly) if you choose your own vendor for the repair process. A Load Test is performed at 100 lb. per square foot and 200 lb. Lateral force on all railings. Weight used depends on square footage calculated A 5-year certification will be issued for one inspection cycle only.

**Fire Escape Services: Restoration - Repairs - Repainting 4 Option Pricing**

**Full Restoration and Full Paint:** Restoration will begin shortly after Emergency Repairs are completed if needed. All major structural connections will be cleaned, primed, sealed, and re-bolted. Any components with more than 25% material in any area will be reinforced or replaced. All Minor connections with internal rust will also be treated in the same manner. All Surface Rust is scraped, primed, sealed with a 50-year paintable silicone, and a full topcoat is applied following EPA Lead guidelines (DTM or Oil Base). After final examination by our Inspector (approved by AHJ) a certification with a 15-25-year structural warranty will be issued. This service will negate any future Load test requirement for up to 25 years with AHJ approval. Includes PMO

**Spot Restoration and Full Paint** All major connections with excessive internal rust will be cleaned, primed, sealed, and re-bolted. Any minor connections with excessive internal rust will be treated the same. Any components with more than 25% material in any area will be reinforced or replaced. There will be an Integrated Load Test and Dynamic Stress Test to components that were not restored. All Surface Rust is scraped, primed, sealed with a 50-year paintable silicone, and a full topcoat is applied following EPA Lead guidelines (DTM or Oil Base). After final examination by our Inspector (approved by AHJ) a certification with a 10-year structural warranty will be issued on only work performed. The cost of the Spot Restoration can be credited towards a Full Restoration within 5 years (price adjusted for inflation and labor rates at that time), some restrictions may apply. Includes Integrated Load Test and Dynamic Stress Test to components. Includes PMO.

**Spot Repair and Spot Paint:** Only distressed, extremely poor welding, and/or broken connections will be repaired as needed. Critical deteriorated material will be reinforced or replaced as needed. The entire system will be certified (for 5-years only) by a Full Load Test and Dynamic Stress Test. A Spot Paint includes scraping and priming: loose or peeling paint, surface rust, and repaired areas. A spot topcoat is applied following EPA Lead guidelines. No warranty is offered. Includes Load Test and Dynamic Stress Test to components. Includes VO.





# PRE-LOAD TEST INITIAL EVALUATION PASS/FAIL REPORT

**E2** 39-45 Newbury St (Roof Elevator room) Boston  
side

Jan 14 2025  
Site Inspection Date

